

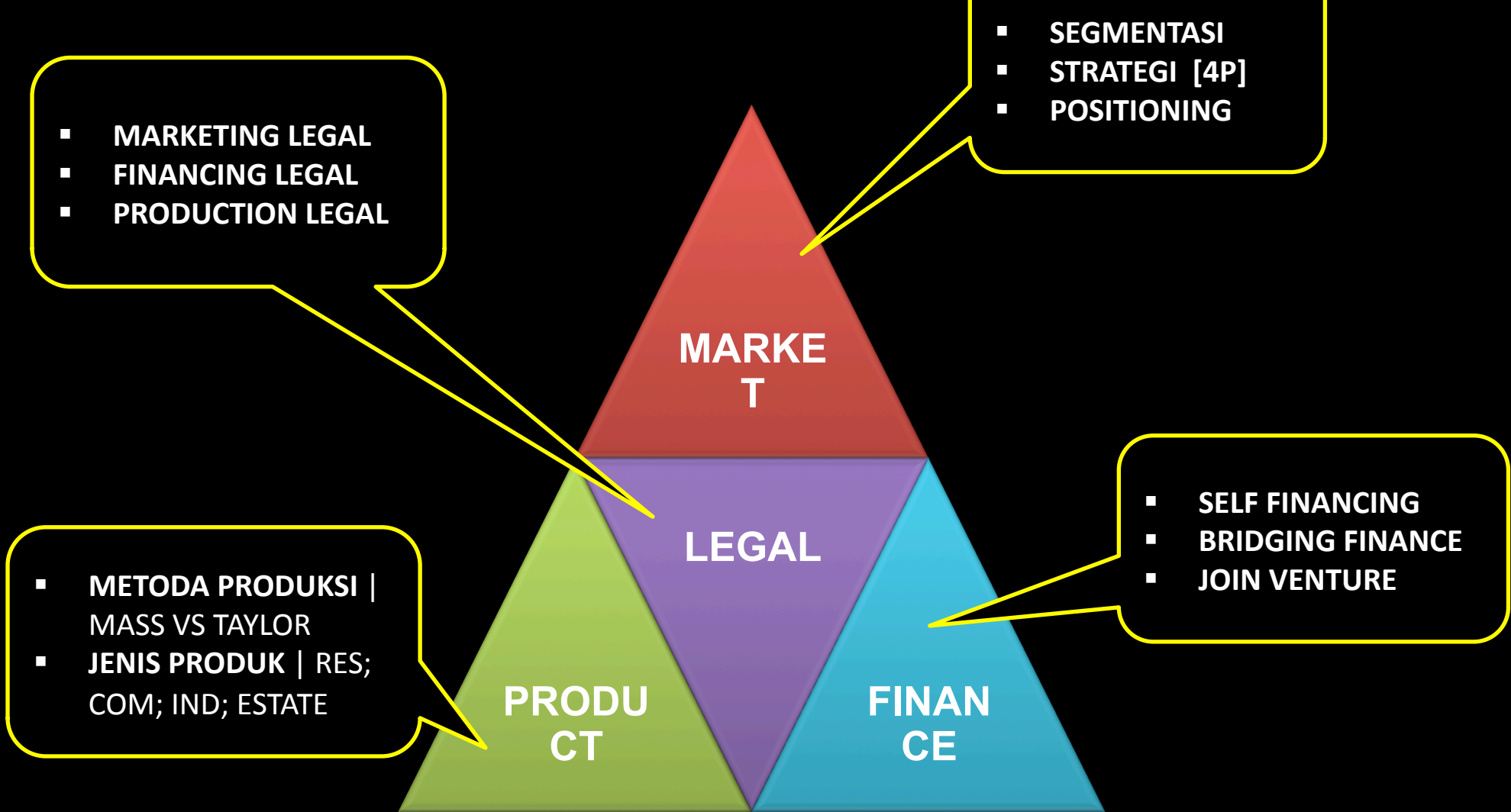
METODA PENYUSUNAN PROGRAM DESAIN ARSITEKTUR

PEMROGRAMAN PERENCANAAN PROPERTI

AHMAD SAIFUDIN MUTAQI, IAI

LEMBAGA PENELITIAN DAN PENGEMBANGAN DPD REI DIJ |
PUSAT STUDI REAL ESTATE BERKELANJUTAN - UII





PRISMA PROPERTI

LAND, REAL ESTATE, REAL PROPERTY & ASSET

BRIGANDIA
INTEGRATED
LOGISTICS COMPLEX
(TAHAP 2 & 3)

LAND

Earth's surface to the center of the earth and air space above the land, including the trees and water

REAL ESTATE

Land plus permanent man-made additions

REAL PROPERTY

Real estate plus "bundle of legal rights"

ASSET

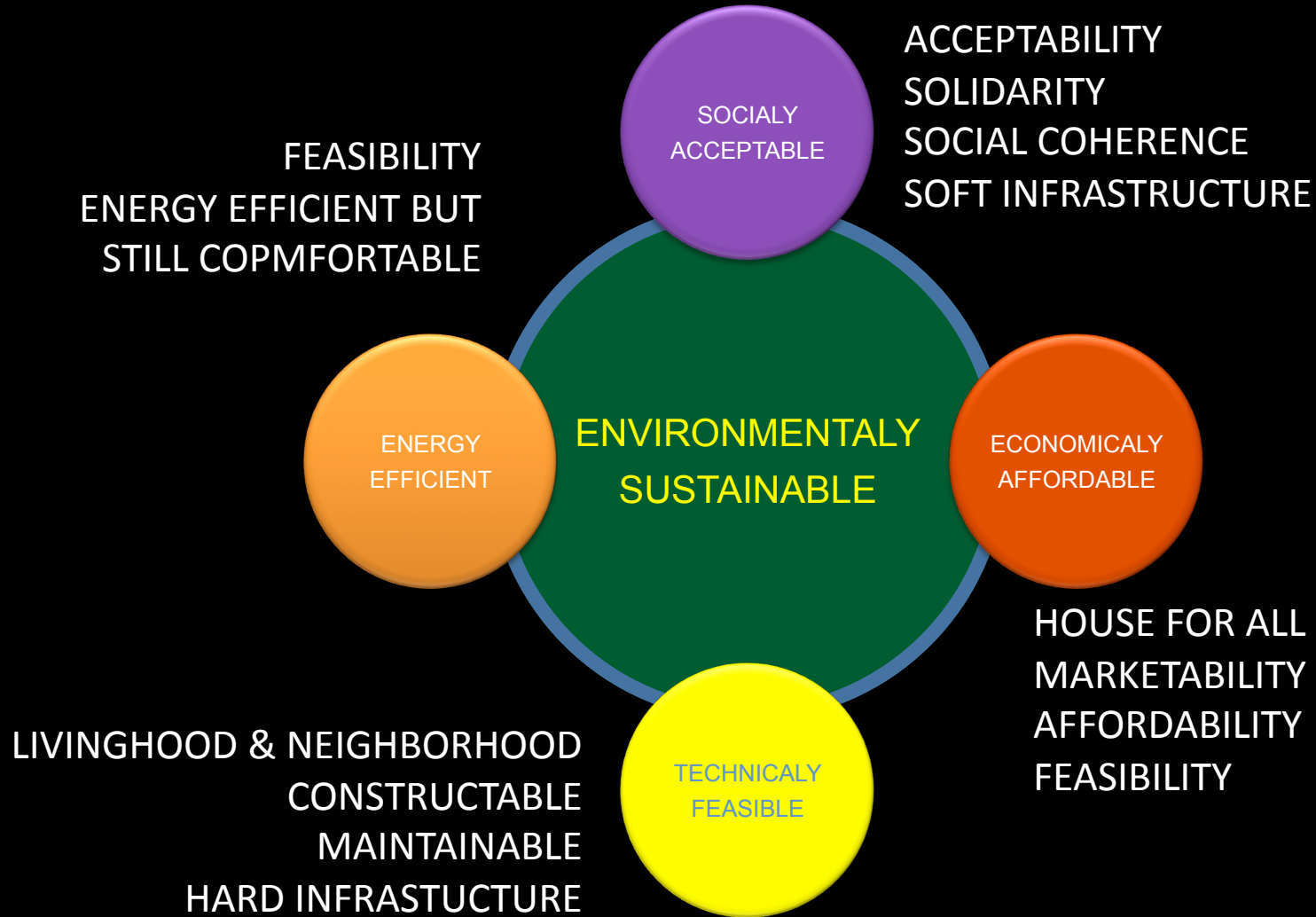
Real Property + Value + Development and maintenance system

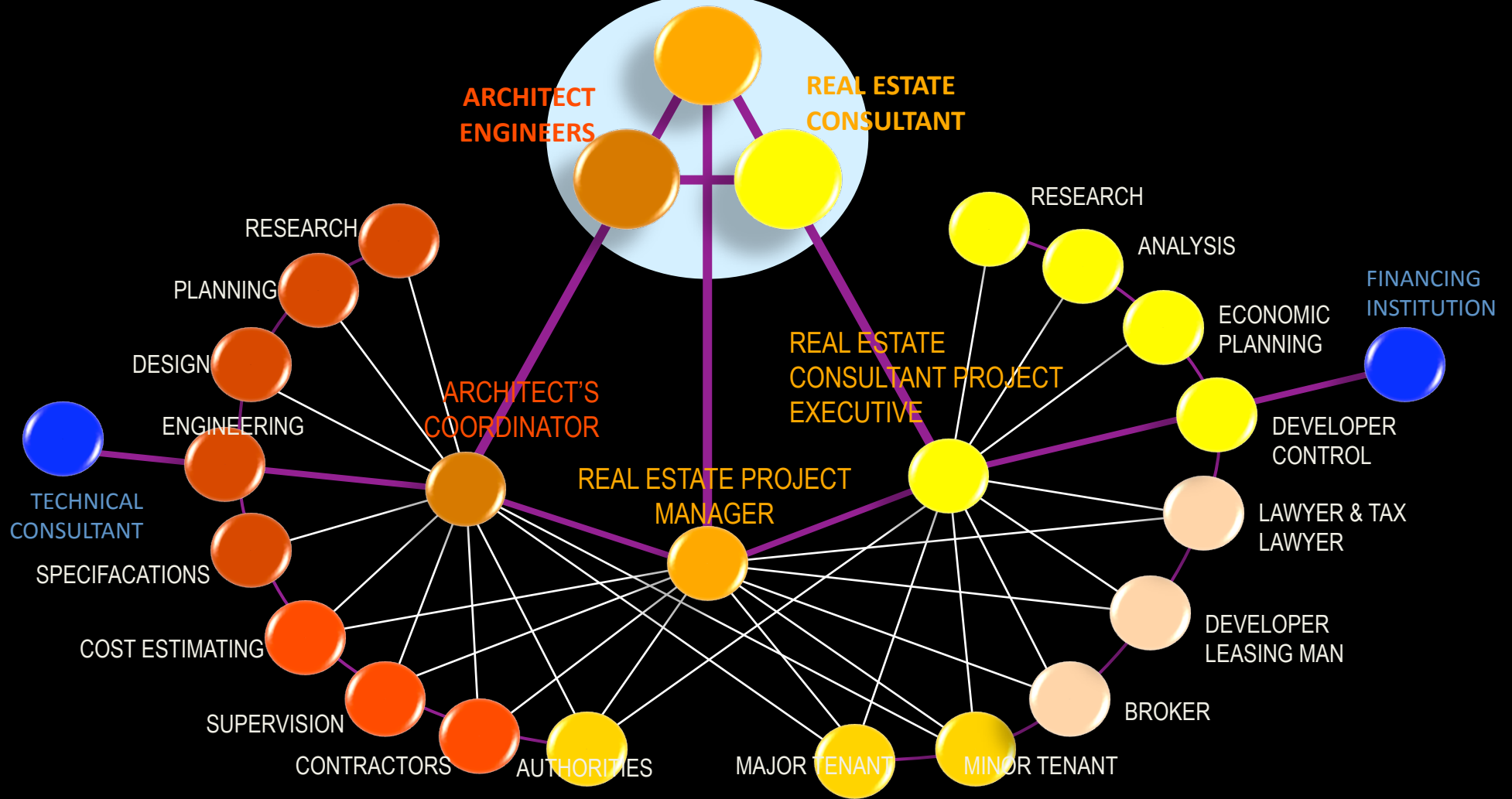
LAND, REAL ESTATE, REAL PROPERTY & ASSET

- **Residential Estate:** landed housing, vertical housing (rusunawa, rusunami)
- **Commercial Estate:** office, shopping center, hotel
- **Mixed Use Development (MXD):** office, apartment, condominium, shopping mall, entertainment center, amusement center, etc
- **Industrial Estate** (manufacturing, assembling, warehouse)
- **Special purpose estate:** sport estate, recreation estate, airport and integrated terminal, etc
- **Agri estate:** hutan lindung, pertanian, perkebunan, dsb.



SUSTAINABLE INVESTMENT





THE REAL ESTATE PLANNING TEAM

THE DEVELOPMENT PROCESS

OWN /CLN
Attorneys,
Accountants,
Brokers, Property
Owner

IDENTIFY PROJECT NEED/
OBTAIN SITE CONTROL

MARKETING/ OBTAIN
PRELIM, SALES/LEASING
COMMITMENT

SITE READY OR
MARKET
VERIFIED

MARKETING OR
PLAN FOR USE &
OPERATIONS
CONTINUE

SITE READY OR
MARKET
VERIFIED

FIN
Investors,
Lenders,
Bankers,
Contributors

OBTAIN EQUITY & DEBT FUNDING COMMITMENTS

FUNDS READY

FUNDING
DISBURSED AS
CONSTRUCTION
PROCEEDS

REPAY LENDER &
INVESTOR

DESIGNERS
Architects,
Engineers,
Surveyors,
Others

PROGRAMMING &
SCHEMATIC DESIGN

DESIGN
DEVELOPM
ENT

CONSTRUCT
ION
DOCUMENT

FINAL BIDDING
& PERMITS
DOCUMENT

ARCHITECTS &
ENGINEERS
ADMINISTER
CONSTRUCTION
CONTRACTOR

POST
OCCUPANCY
EVALUATION

APPROVERS
Building Dept's
Zoning Agencies,
Design Board

OBTAIN ZONING VARIANCES, OTHER REQUIRED
APPROVALS AND REVIEW WITH AGENCIES

BUILDING
PERMIT ISSUED

BUILDING
INSPECTOR
INSPECT
CONSTRUCTION

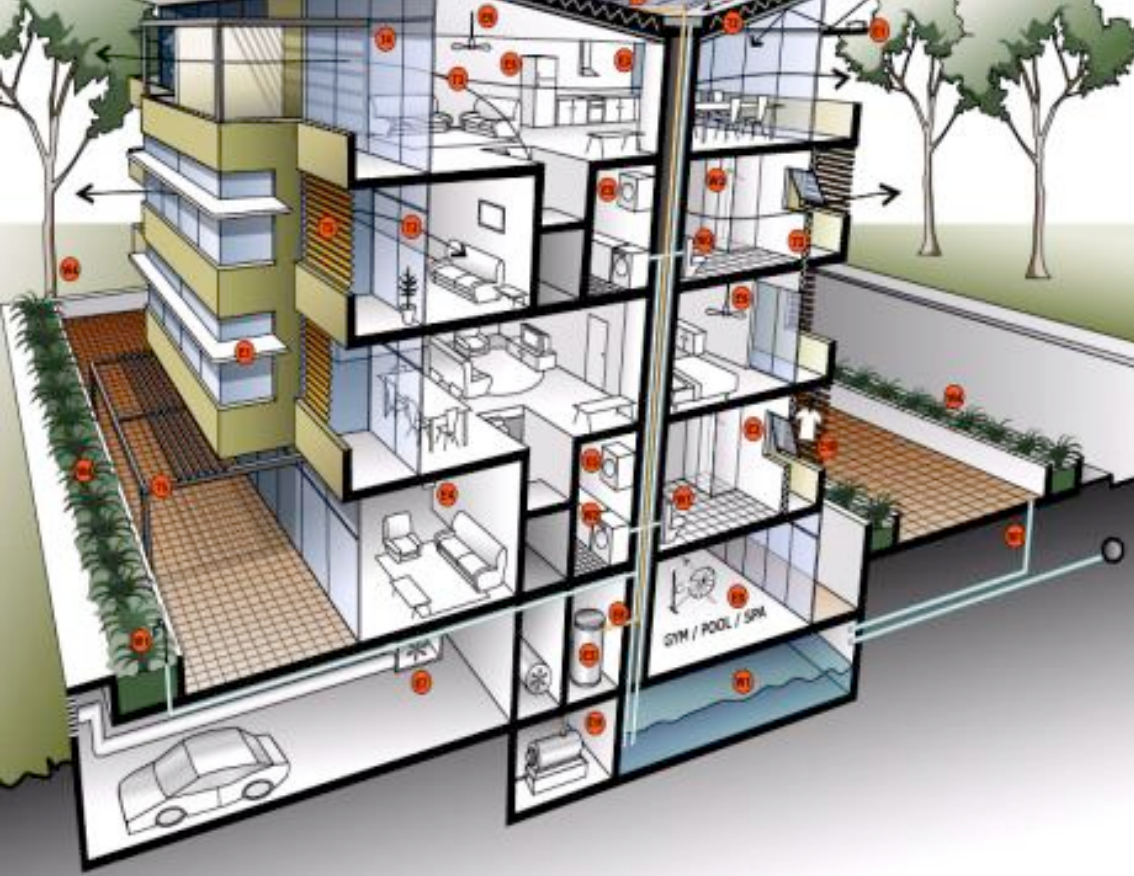
CONSTRUCTOR
General Contract,
Sub Contractors,
Suppliers,
Others

SELECT CONTRACTORS & OBTAIN COST ESTIMATES,
BID, NEGOTIATE FINAL CONSTRUCTION CONTRACT

OWNER
AWARDS
CONTRACT

CONTRACTOR
BUILDS PROJECT

WARRANTY
PERIODE



GREEN

Pengembangan properti
dituntut/disyaratkan yang :

- 1) Technically *feasible*
- 2) Economically *affordable*
- 3) Environmentally sustainable
- 4) Energy efficient, *but still comfortable*
- 5) *Socially & culturally acceptable*

Real Estat Berkelanjutan adalah sebuah konsep pendekatan pembangunan yang melibatkan unsur **masyarakat**; unsur **lingkungan** dan unsur **ekonomi** dalam mencapai keberhasilan untuk melahirkan **produk pembangunan yang berwawasan lingkungan**. Produk pembangunan tersebut berupa sebuah investasi yang mempertimbangkan aspek **kelayakan teknis**, **keterjangkauan ekonomis**, **lingkungan yang berkelanjutan**, **hemat energi** yang tetap